 Reigate & Banstead BOROUGH COUNCIL Banstead Horley Redhill Reigate	TO:	PLANNING COMMITTEE
	DATE:	16 May 2018
	REPORT OF:	HEAD OF PLACES AND PLANNING
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AGENDA ITEM:	12	WARD: Reigate Central

APPLICATION NUMBER:	17/02732/F	VALID:	16 January 2018
APPLICANT:	Manhurley Ltd	AGENT:	JLL Ltd
LOCATION:	LAND TO THE REAR OF 77-83 BELL STREET, REIGATE		
DESCRIPTION:	Redevelopment of existing surface car park and construction of 3 no. studio flats and 3 no. 1-bed flats with associated cycle parking, refuse store and landscaping		
All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.			

SUMMARY

This is a full application for the erection of two buildings containing three x 1-bedroom flats and three x studio flats and associated works including cycle storage, bin storage and associated landscaping. This would be on the existing car park of the site and would be to the rear of the existing frontage buildings on the site. The site occupies the car park of the former office building fronting Bell Street which is in the process of being converted to residential under a prior approval application.

The proposal has been subject to extensive pre-application advice and amendments during the course of the application. The site is located within the Reigate Town Centre Conservation Officer but has received no objections from the Council's conservation officer who is satisfied that the proposal would not cause harm to the conservation area and would not significantly impact the existing street scene. The town's character includes numerous examples of outbuildings and other development to the rear of the frontage building line, to which this proposal would accord.

The site backs onto the Memorial Gardens with several trees separating the two. The proposal has taken these into account the substantial plane tree to the east of the site and incorporates specialist foundations in order to ensure that the proposal would not materially harm this significant tree. With this secured and, due to the position of the building, it is not considered that the proposal would cause significant harm to neighbouring properties.

It is noted that the proposal does not include any parking and, furthermore, would take up the existing parking provision from the former offices (now residential). However, the site is within a highly sustainable location and is within walking distance to bus stops, the railway station and the town centre. Furthermore, the Highways Authority has not raised any objection in terms of parking provision or highway safety meaning it would be difficult to sustain refusal on this ground. The proposal is therefore considered acceptable.

RECOMMENDATION

Planning permission is **GRANTED** subject to conditions.

Consultations:

Highway Authority: The proposed development has been considered by the county highway authority in terms of the likely net additional traffic generation, access arrangements and parking provision and recommends that conditions relating to the closure of the existing vehicular access and the provision of a Construction Transport Management Plan are added:

“The development is in a sustainable location with frequent bus services. The applicant is not providing off-street parking, however, adequate bike parking is proposed. There are adequate parking controls and restrictions in Bell Street and surrounding roads to prevent dangerous on-street parking. Likewise, it is not considered that the loss of the car parking to the properties at the loss of the site would create dangerous on-street parking. The Highways Authority is satisfied with the arrangements proposed for refuse collection, and that emergency vehicles can continue to service the site from Bell Street.”

Reigate Society: Objects due to over-development of tight site. Concerns over minimal separation distances, effect on outlook, daylight and sunlight to surrounding buildings to south and west of application site. No parking provided; loss of existing parking.

Contaminated Land Officer: Recommends conditions be imposed given potential for contamination

Neighbourhood Services: No objections but states requirements for the number and type of refuse bins.

Conservation Officer: *The proposed development lies in the grounds of 77 to 83 Bell Street, which is situated in Reigate Conservation Area. 77 to 79, known as Batswing Cottages, were built in 1815, with gothic windows and a plaque which celebrates the victory at Waterloo, depicting folded dragon’s wings, later mistaken for batswings. I have no objection from a conservation viewpoint subject to conditions relating to materials.*

I consider the amended drawing is acceptable from a conservation viewpoint in terms of its massing and footprint subject to conditions.

Tree Officer: Recommends a number of conditions

Surrey Archaeological Officer: This area is thought likely to contain significant archaeological remains relating to the development of the town from the medieval period onwards. In addition excavations nearby in Bell Street have recovered evidence that indicates prehistoric activity occurred in the area. A condition relating to the implementation of a written scheme of investigation should be added to the decision notice.

Reigate Business Guild: Raises concern about the lack of available parking and overdevelopment of the site.

Representations:

Letters were sent to neighbouring properties on 20 December 2017 and 22 January 2018. A site notice was posted on 03 January 2018. Six letters of representations have been received from neighbouring properties with the following concerns.

Issue	Number	Response
Concern regarding noise from the neighbouring wine bar	2	See para
Lack of parking	3	See paragraph 6.14-6.16
Overdevelopment	2	See paragraph 6.4
Inconvenience during construction	2	This is not a material planning consideration

1.0 Site and Character Appraisal

- 1.1 The site is a plot of land currently used as a car park to the rear of 77-83 Bell Street. The buildings to the front are locally listed. The buildings to the front of the site are currently in office use but benefit from a change of use application for use as residential and conversion to flats which is currently underway. Access to the site is via a short driveway under an arch to the front. The site is relatively flat. There is a substantial plane tree on the eastern boundary as well as a number of lesser trees that could be affected by the proposal.
- 1.2 The site is on the east side of Bell Street, within the Reigate Town Centre Conservation Area, and an Area for Small Businesses. The site's surroundings are characterised by a mixture of commercial and residential properties of largely similar "domestic" scale and design. To the rear of the site is open land that is owned by St Mary's School.

2.0 Added Value

- 2.1 Improvements secured at the pre-application stage: Advice was given in terms of the number of units, the scale of the building, the materials proposed and the interaction between the proposed units and the existing office building on the site.
- 2.2 Further improvements could be secured: Conditions will be placed on the grant of permission in regard to the materials used, contaminated land, archaeology, tree protection plan, landscaping, detailed foundation design, site levels, construction management plan

3.0 Relevant Planning and Enforcement History

- 3.1 02/01062/CU Change of use of warehouse/offices to dental laboratory on ground floor and first floor offices - approved with conditions

- 3.2 16/01069/PAP3O Prior approval under Class J for a change of use from offices (Use Class B1A) to dwelling houses (Use Class C3). As amended on 13/06/2016 - prior approval not required.
- 3.3 17/00847/PAP3O Notification under class O for the change of use of the ground and first floors of the above properties from office accommodation (class B1) to residential accommodation (class C3) to create a total of 16 residential flats – prior approval not required
- 3.4 18/00447/F - Alterations to the external doors and windows and associated works – approved with conditions

4.0 Proposal and Design Approach

- 4.1 This is a full application for the erection of two buildings containing three 1 bedroom flats and three studio flats and associated works including bike storage, bin storage and associated landscaping. This would be on the existing car park of the site and would be to the rear of the existing frontage buildings on the site (currently being converted into residential accommodation.)
- 4.2 The proposal is of three blocks (two blocks would be conjoined) orientated east-west with a gabled pitched roof. The buildings would be contemporary in design but would have gabled ends and traditional style materials in order to fit in with the wider conservation area.
- 4.3 Plans have been provided showing the location of both an integrated bike store and a bin store. The ground floor flats would have a private amenity area to the eastern part of the site and there would be a communal amenity area between the two blocks.
- 4.4 No parking has been proposed although there would be sufficient cycle storage for the proposed flats and the site is within a sustainable town centre location.
- 4.5 A design and access statement should illustrate the process that has led to the development proposal, and justify the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:
- Assessment;
 - Involvement;
 - Evaluation; and
 - Design.
- 4.6 Evidence of the applicant's design approach is set out below:

Assessment	The statement states that the site is within a conservation
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	<p>area and the design has evolved to take into account the materials used and the style of the proposed buildings</p> <p>The scale of the building since pre-application stage has been reduced from nine flats to six flats and the position of the building has changed in order to minimise the impact to the substantial plane tree to the east of the site.</p>
Involvement	No community consultation took place.
Evaluation	The statement does not include any evidence of other development options being considered.
Design	<p>The proposed, handmade facing brick facade will be a direct reflection of the main material in the neighbouring area. Natural materials will be used for roof tiling (slate) as well as timber windows and doors are specified for the main wall openings. Vertical, timber screen fins will wrap the main staircase around to form a closed building shape.</p> <p>The proposed brick texture and colour will be responding to the historic brickworks and bonds in the area. In order to enhance the characteristic of the existing fabric in the conservation area, a dark brown brick colour is proposed, to match to the adjacent brick wall at the rear of 75 Bell Street.</p>

5.0 Policy Context

5.1 Designation

Urban Area
Chart Lane Conservation Area

5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)
CS4 (Valued Townscapes and Historic Environment)
CS10 (Sustainable Development),
CS11 (Sustainable Construction),
CS15 (Affordable Housing)

5.2 Reigate & Banstead Borough Local Plan 2005

Conservation	Pc12, Pc13
Housing	Ho9, Ho13, Ho14, Ho16
Movement	Mo5, Mo7
Landscape	Pc4

5.3 Other Material Considerations

National Planning Policy Framework

Supplementary Planning Guidance

Surrey Design

Local Distinctiveness Design Guide

Householder Extensions and

Alterations

Other

Human Rights Act 1998

6.0 Assessment

6.1 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such development is acceptable in land use terms.

6.2 The main issues to consider are:

- Impact on local character
- Neighbour amenity
- Landscaping and impact upon tree
- Highway and parking matters
- Archaeological matters
- Contaminated Land
- CIL
- Affordable housing

Impact on local character including conservation area

6.3 The proposal would be to the rear of the existing office buildings and would be two storeys in height. Due to the nature of the properties, to the rear of the buildings that face Bell Street, they would have limited impact on the street scene as they would be no higher than the frontage buildings and the only view of them would be via an indirect view from the underpass at the front. Whilst there would be views from the rear, due to the distance from public footpaths and the substantial tree, the view of the new building would be relatively limited.

6.4 It is considered that there is no objection to a tandem or rear form development in this location. Whilst there is concern that the application site could be constructed as cramped and overdeveloped, it is considered that the town centre of Reigate is characterised by developments (both modern and historic) such as this, with small buildings, cottages and barn style buildings (such as this is modelled to represent) to the rear of larger houses on the main streets. The proposal would be sited sufficiently away from front of the property and due to its location would make a minimal impact on the street scene and the wider character.

6.5 In terms of design, the building would have eaves and ridge heights similar to the frontage buildings. The scale of the building in terms of its width, length, height and massing would be in keeping with the wider area.

- 6.6 The proposal is within the Reigate town centre conservation area (and adjacent to the Chart Lane conservation area to the rear which is contiguous with the Reigate town centre conservation area.) The conservation officer has been consulted throughout the application and following amendments to the proposal has no objections to the scheme subject to a condition relating to the materials used, in order that the proposal is acceptable in its appearance in the conservation area, which is characterised by many outbuildings and forms of development rear of the established front building lines.
- 6.7 The conservation officer originally had concerns regarding the proposal in that the cottages to the front (Batwing Cottages) were not proposed to be restored to their original appearance in this application. However, these changes have now been approved under a separate application (18/00447/F) to the front buildings.

Neighbour amenity

- 6.8 The proposal would introduce a new two storey building in relatively close proximity to neighbouring properties. The office buildings to the front of the site are currently being converted into flats and there is concern that there would be overlooking and a loss of light between the properties. There would be no westerly facing windows to the proposed buildings and the external staircase would be screened by vertical timber screen fins. Whilst there would be some loss of light to the rear windows of the existing building, these windows would serve rooms that are either non habitable or are dual facing and it is considered that despite the proximity of the buildings, this would not cause such harm as to warrant refusal on this ground.
- 6.9 The properties to the north and south are commercial properties, the property to the north is a yoga studio, and to the south is a wine bar with a beer garden and a late licence. Both properties have raised concerns in terms of noise during construction. This is not a planning matter and is not a material planning consideration. Neither property would be overlooked by the proposed buildings as there are no windows in the north and south elevations outside of the site. Whilst concern has been raised in terms of impact on the wine bar to the south, due to the noise from the wine bar, it is considered that this would not impact on the residential properties to an overly significant degree.
- 6.10 There would be windows in the southern elevation of the northern block and the northern elevation of the southern block. In order to avoid significant overlooking and loss of privacy between the two blocks, the windows on the southern elevation of the northern block are proposed to have privacy panels that would angle any overlooking to the east and would avoid any mutual overlooking. These panels will be controlled by condition.

Landscaping and impact upon tree

- 6.11 Due to the proximity of a substantial plane tree on the eastern boundary, the Council's tree officer has been consulted. His comments are included below:

The agent has demonstrated using tree radar investigation there are roots present but the majority are below the traditional 600 mm, this is due to the site being used as a car park, but nonetheless the site in its current state creates a favourable environment to survive and function. Therefore it is important that any change to the site must ensure the environment continues to allow roots to develop. The foundation design as indicated on drawing 2017-355- PO2 Rev B, dated 1/11/17 will result some disruption to the ground conditions but will create a ventilated airspace between the underside of the slab and the ground surface to allow the roots to continue to extract moisture; furthermore an irrigation system has been incorporated into the scheme which will ensure there is a continuous supply of water directed into the ground. It is not clear from the information whether there will be any change in levels, any additional excavation will encroach into the areas where roots are present which will have an impact on the condition of the trees, in particular T1, therefore to prevent lowering of levels within the RPA it will be necessary for a levels condition to be attached to the decision notice.

- 6.12 Two of the proposed buildings are underneath the canopy of T1 and may be a concern to future occupants, however as the trees are located in the conservation area it will be necessary to gain permission from the council before undertaking any works, this will ensure best arboricultural practice is implemented at all times
- 6.13 The Tree Officer therefore has no objections to the scheme subject to conditions relating to tree protection, detailed foundation design, levels details and landscaping.

Highway matters

- 6.14 The County Highway Authority has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and recommend that conditions relating to the removal of the existing vehicular access and a construction transport management plan are imposed on the decision notice.
- 6.15 The development is in a sustainable location with frequent bus services and is within walking distance to the town centre and the railway station.
- 6.16 It is noted that there is no parking on site; however adequate bike parking has been proposed. The County Highway Authority is satisfied that any demand for on-street parking that may arise from this site would not cause a highway safety issue as there are adequate parking controls and restrictions in Bell Street and surrounding roads to prevent dangerous on-street parking.
- 6.17 The Highways Authority and the LPA are satisfied with the arrangements proposed for refuse collection, and that emergency vehicles can continue to service the site from Bell Street.

Archaeological Matters

- 6.18 Following a recent County-wide review of areas identified as being of High Archaeological Potential (AHAP), the area of potential in this part of Reigate was extended and the site now falls within it. This area is thought likely to contain significant archaeological remains relating to the development of the town from the medieval period onwards. In addition excavations nearby in Bell Street have recovered evidence that indicates prehistoric activity occurred in the area.
- 6.19 A search of the Surrey Historic Environment Record suggests that remains of backyard activity dating from the later medieval and post medieval periods are most likely to be present and although they would be of local significance they are unlikely to require preservation in situ and so in this case it is considered that in order to clarify the nature and extent of any buried archaeology that may be present an archaeological trial trench evaluation should be carried out after any decision on the planning application is made.
- 6.20 The County Archaeological Officer has requested a condition requiring a written scheme of investigation. This will allow the required evaluation to take place as well as securing the excavation, recording and publication of any significant archaeology that may be found

Contaminated Land

- 6.21 The site is considered to be within an area with the potential for ground contamination to be present on or in close proximity to the applicant site. The contaminated land officer has therefore recommended a number of conditions and an informative to be added to the decision.

CIL

- 6.22 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, roads, public transport and community facilities which are needed to support new development. This development would be CIL liable although the exact amount would be determined and collected after the grant of planning permission.

Affordable Housing

- 6.23 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require financial contributions towards affordable housing to be provided on housing developments of 1-9 units. However, in November 2014, the Government introduced policy changes through a Written Ministerial Statement and changes to the national Planning Practice Guidance which restrict the use of planning obligations to secure affordable housing contributions from developments of 10 units or less. These changes were given legal effect following the Court of Appeal judgement in May 2016

- 6.24 In view of this, and subsequent local appeal decisions which have afforded greater weight to the Written Ministerial Statement than the Council's adopted policy, the Council is not presently requiring financial contributions from applications such as this resulting in a net gain of 10 units or less.

CONDITIONS

1. The development hereby permitted shall be carried out in accordance with the following approved plans.

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

Note: Should alterations or amendments be required to the approved plans, it will be necessary to apply either under Section 96A of the Town and Country Planning Act 1990 for non-material alterations or Section 73 of the Act for minor material alterations. An application must be made using the standard application forms and you should consult with us, to establish the correct type of application to be made.

Plan Type	Reference	Version	Date Received
Detailed Technical Plan	1182/SKETCH		30.04.2018
Elevation Plan	PL-303		15.12.2017
Elevation Plan	PL-301		23.11.2017
Section Plan	PL-202		23.11.2017
Section Plan	PL-201		23.11.2017
Landscaping Plan	17.3040.01		23.11.2017
Site Layout Plan	PL-051	1	17.01.2018
Roof Plan	PL-103	1	17.01.2018
Floor Plan	PL-101	1	17.01.2018
Floor Plan	PL-100	1	17.01.2018
Site Layout Plan	PL-050	1	17.01.2018
Location Plan	PL-001	1	17.01.2018
Elevation Plan	PL-302		08.12.2017

2. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004

3. Notwithstanding the drawings, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority:
- a) The roof shall be of natural slate, with Staffordshire blue clay ridge tiles or handmade hogsback clay ridge tiles.

- b) All brickwork shall be of handmade sandfaced English bond brickwork, a sample of which shall be submitted to and approved in writing by the LPA before works commence.
- c) Before the new buildings are occupied the concrete panel fence to the east boundary shall be replaced with a 2 metre high vertically closed board featheredge timber fence with timber posts and gravel boards, all stained dark brown)
- d) All windows shall be of painted timber with casements in each opening.
- e) All eaves shall have no fascia board or a fascia no more than two bricks depth.

Reason: To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

4. Prior to the commencement of development, details of the proposed privacy panels for the windows on the internal south elevation shall be submitted to and approved in writing by the Local Planning Authority and these panels shall be installed and maintained in perpetuity.

Reason: In order that the amenity of neighbouring properties is maintained and to comply with policies Ho9, Ho13, and Ho16 of the Local Plan 2005.

5. No development shall commence on site until a scheme for the landscaping and replacement tree planting of the site including the retention of existing landscape features has been submitted and approved in writing by the local planning authority. Landscaping schemes shall include details of hard landscaping, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation programme.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or use of the approved development or in accordance with a programme agreed in writing with the local planning authority

All new tree planting shall be positioned in accordance with guidelines and advice contained in the current British Standard 5837. Trees in relation to construction.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, and shrubs of the same size and species.

Reason: To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4, Pc12 and Ho9 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837.

6. No development shall commence including groundworks preparation and demolition until all related arboricultural matters, including arboricultural supervision, monitoring and tree protection measures are implemented in strict accordance with the approved details contained in the Tree Protection Plan and Arboricultural Method Statement compiled by Landscape Planning Ltd dated 28th November 2017, reference 70128

Reason: To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with policy Pc4 of the Reigate and Banstead Borough Local Plan 2005 and the recommendations within British Standard 5837

7. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and the mature tree and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

8. No development shall take place until the developer obtains the Local Planning Authority's written approval of the detailed foundation design which has been signed off by Building Control. The development shall be carried out in accordance with the approved foundation design

Reason: To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with the adjoining tree with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9 and Pc4.

9. No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Planning Authority.

Reason: The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to the Reigate and Banstead Borough Local Plan 2005 policy Pc8.

10. Prior to commencement of development a written comprehensive environmental desktop study report is required to identify and evaluate possible on and off site sources, pathways and receptors of contamination and enable the presentation of all plausible pollutant linkages in a preliminary conceptual site model. The study shall include relevant regulatory consultations such as with the Contaminated Land Officer and be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify.

The report shall be prepared in accordance with the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

11. In follow-up to the environmental desktop study report and prior to the commencement of development, a contaminated land site investigation proposal, detailing the extent and methodologies of sampling, analyses and proposed assessment criteria required to enable the characterisation of the plausible pollutant linkages identified in the preliminary conceptual model, shall be submitted to the Local Planning Authority. This is subject to the written approval in writing of the Local Planning Authority, and any additional requirements that it may specify, prior to any site investigation being commenced on site. Following approval, the Local Planning Authority shall be given a minimum of two weeks written notice of the commencement of site investigation works.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

12. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

13. Prior to commencement of the development, a contaminated land site investigation and risk assessment, undertaken in accordance with the site investigation proposal as approved that determines the extent and nature of contamination on site and is reported in accordance with the standards of DEFRA's and the Environment Agency's Model Procedures for the Management of Contaminated Land (CLR 11) and British Standard BS 10175, shall be submitted to the Local Planning Authority and is subject to the approval in writing of the Local Planning Authority and any additional requirements that it may specify. If applicable, ground gas risk assessments should be completed inline with CIRIA C665 guidance.

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

14. a. Prior to commencement of the development a detailed remediation method statement should be produced that details the extent and method(s) by which the site is to be remediated, to ensure that unacceptable risks are not posed to identified receptors at the site and details of the information to be included in a validation report, has been submitted to and approved in writing by the Local Planning Authority, and any additional requirements that it may specify, prior to the remediation being commenced on site. The Local Planning Authority shall then be given a minimum of two weeks written notice of the commencement of remediation works.
- b. Prior to occupation, a remediation validation report for the site shall be submitted to the Local Planning Authority in writing. The report shall detail evidence of the remediation, the effectiveness of the remediation carried out and the results of post remediation works, in accordance with the approved remediation method statement and any addenda thereto, so as to enable future interested parties, including regulators, to have a single record of the remediation undertaken at the site. Should specific ground gas mitigation measures be required to be incorporated into a development the testing and verification of such systems should have regard to CIRIA C735 guidance document entitled 'Good practice on the testing and verification of protection systems for buildings against hazardous ground gases' and British Standard BS 8285 Code of practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings.

Reason: To demonstrate remedial works are appropriate and demonstrate the effectiveness of remediation works so that the proposed development will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

15. Unexpected ground contamination: Contamination not previously identified by the site investigation, but subsequently found to be present at the site shall be reported to the Local Planning Authority as soon as is practicable. If deemed necessary development shall cease on site until an addendum to the remediation method statement, detailing how the unsuspected contamination is to be dealt with, has been submitted in writing to the Local Planning Authority. The remediation method statement is subject to the written approval of the Local Planning Authority and any additional requirements that it may specify.

Note: Should no further contamination be identified then a brief comment to this effect shall be required to discharge this condition

Reason: To ensure that the proposed development and any site investigations and remediation will not cause harm to human health or pollution of controlled waters with regard to the NPPF.

16. The development shall not be first occupied unless and until the existing vehicular access from the site to Bell Street has been permanently closed, and any kerbs, verge, footway, fully reinstated.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

17. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
 - (b) loading and unloading of plant and materials
 - (c) storage of plant and materials
 - (d) programme of works (including measures for traffic management)
 - (e) provision of boundary hoarding behind any visibility zones
 - (h) measures to prevent the deposit of materials on the highway has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during construction of the development.

Reason: In order that the development should not prejudice highway safety nor cause inconvenience to other highway users and to meet the objectives of the NPPF (2012), and to satisfy policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan (2005).

INFORMATIVES

1. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
 - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
 - (c) Deliveries should only be received within the hours detailed in (a) above;
 - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
 - (e) There should be no burning on site;
 - (f) Only minimal security lighting should be used outside the hours stated above; and
 - (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.
- Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit.

In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - www.ccscheme.org.uk/index.php/site-registration.

2. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at www.firesprinklers.info.
3. Environmental Health draw the applicant attention to the specifics of the contaminated land conditional wording such as 'prior to commencement', 'prior to occupation' and 'provide a minimum of two weeks notice'.

The submission of information not in accordance with the specifics of the planning conditional wording can lead to delays in discharging conditions, potentially result in conditions being unable to be discharged or even enforcement action should the required level of evidence/information be unable to be supplied. All relevant information should be formally submitted to the Local Planning Authority and not direct to Environmental Health.

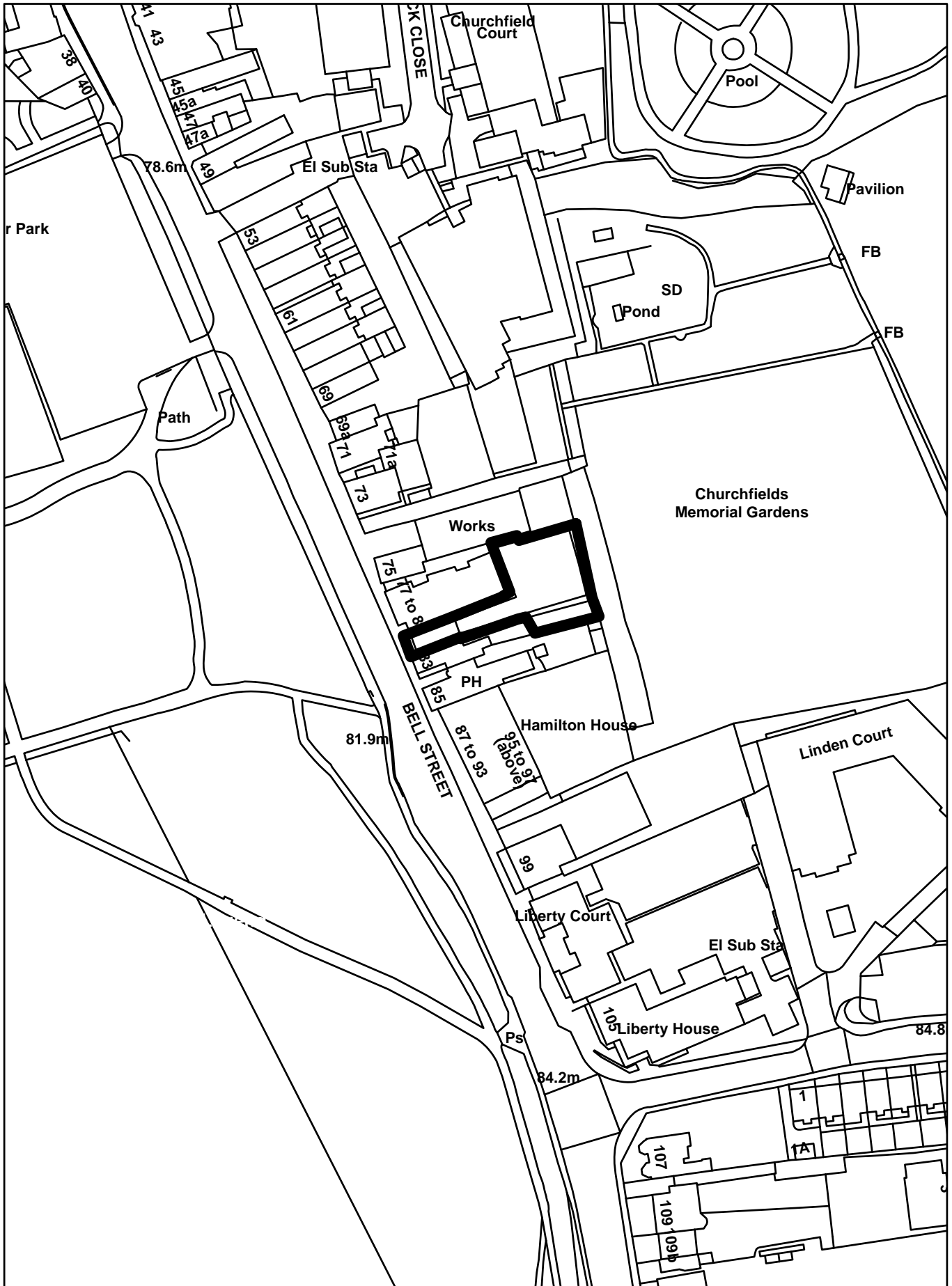
4. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148,149).
5. The permission hereby granted shall not be construed as authority to obstruct the public highway by the erection of scaffolding, hoarding or any other device or apparatus for which a licence must be sought from the Highway Authority Local Highways Service.
6. The use of a suitably qualified arboricultural consultant is essential to provide acceptable supervision and monitoring in respect of the arboricultural issues in respect of the above condition. All works shall comply with the recommendations and guidelines contained within British Standard 5837.

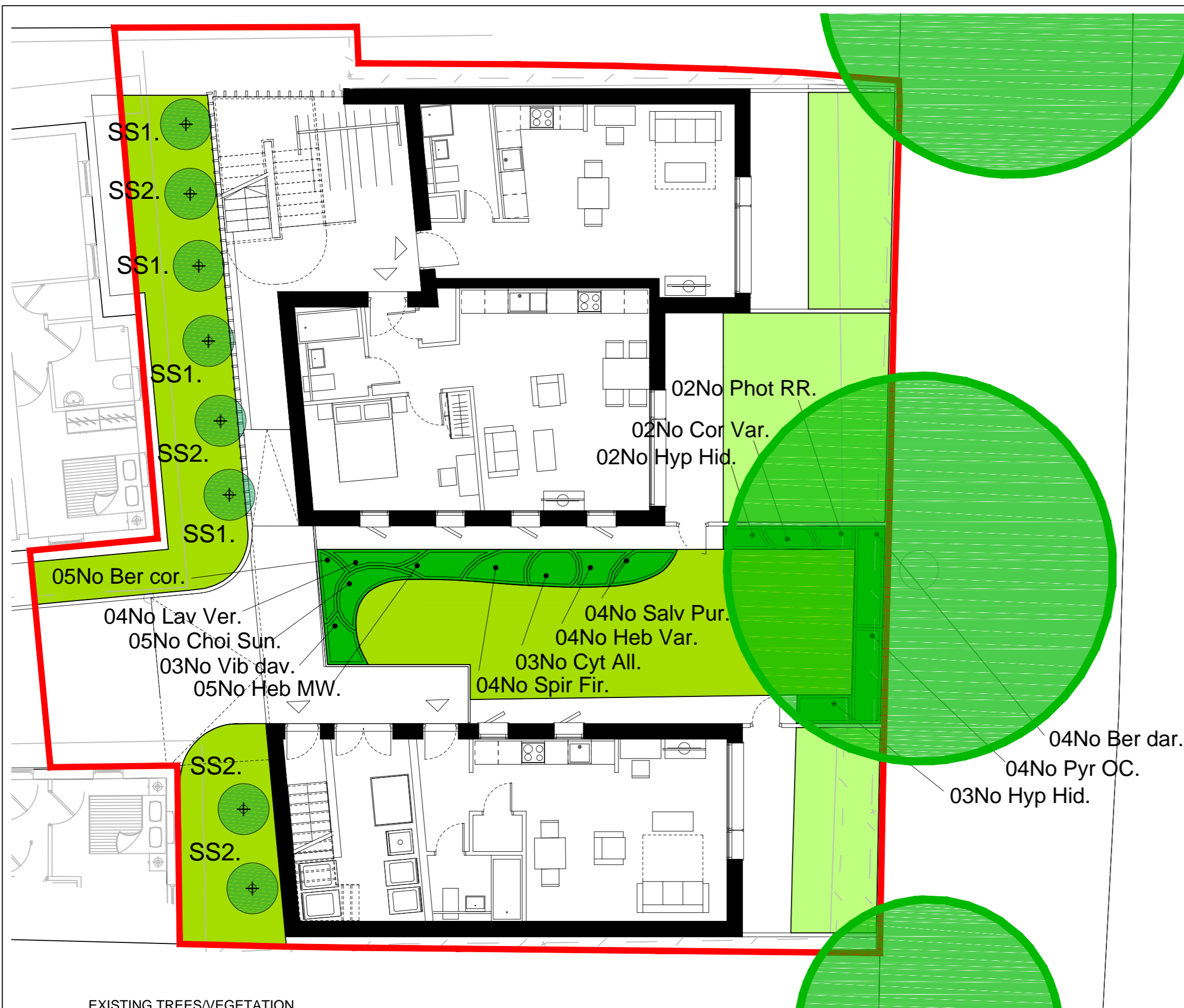
REASON FOR PERMISSION

The development hereby permitted has been assessed against development plan policies Ho9, Ho13, Ho14, Ho16, Pc12, Pc13, Mo5 and Mo7, and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

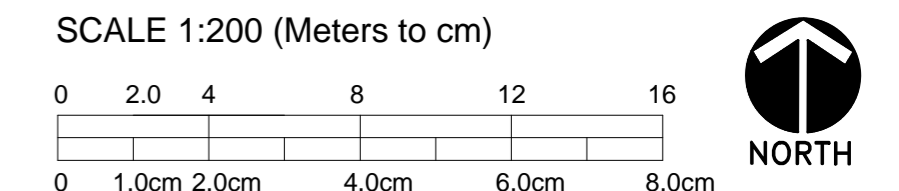
17/02732/F - Land To Rear Of 77- 83 Bell Street, Reigate





STANDARD SPECIFICATION NOTES.

- ESTABLISHMENT AND IMPLEMENTATION**
- 1.01.01 No soft landscape operations to be undertaken during periods of prolonged waterlogging, frozen ground, adverse high or low temperature or drought. Prior to planting and soil preparation. All unsuitable existing vegetation to be suitably sprayed off (refer to notes on chemical use below) and then removed. Including brambles, perennial weeds and stressed and unsuitable elements of existing boundary vegetation and hedgerow.
 - 1.01.02 Assumes main contractor provides adequate topsoil (Existing or imported) to all planting areas as shown (in accordance with B.S.3882:1994) and in accordance with finished ground levels on external works drawings. All subsoil to be broken up to min depth of 300mm prior to topsoil application. To improve root zone drainage and remove compaction.
 - 1.01.03 Imported soil and screened topsoil to be a fertile medium loam pH 6.0-7.5 and should be free from any perennial weeds, weed seeds, contamination, rubble, subsoil and stones bigger than 50mm with a maximum stone content of 20%. (contractor to organise sample to be sent for lab testing and to make results available for approval) Topsoil areas to be cultivated by hand or machine prior to planting. (Topsoil planting depths to be min 450mm for shrub/tree beds and 150mm for turf/seeded areas.
 - 1.01.04 Areas to be treated and methodology to be agreed with inspecting Landscape Architect and Borough Landscape Officer to be notified accordingly on completion of all works. All tree pits in soft areas to be planted in pits with sides/bases broken up to 300mm. (width of pit increased if required to accommodate root system without bending) Extra Heavy Standards - 800mm square pit, 450-750mm deep, Standards - 650mm square pit, 400mm deep.
 - 1.01.05 Individual trees decompaction within compacted areas will be achieved through excavating a wide, shallow tree pit a minimum 4 SqM in area by 300-400mm deep and the loosening/ breaking the sub soil layer beneath for a further 300-450mm.
 - 1.01.07 All tree stakes and fixings to be sufficiently low to allow free movement of the crown. Tree support to comprise a stake set at uniform height, 300mm min depth below ground level with a biodegradable tie toward the head of the stake. Or be underground guyed using Arborguy tree guying system (Green leaf Planting Products) or similar approved. (single stake with single biodegradable tie - standard trees, double with double biodegradable tie for heavy) triple with triple biodegradable tie for "instant" heavy standard NB: Or as details shown on Tree Pit Cross sections. Stakes to be removed at between 2-3 years, in accordance with management plan or when trees are established.
 - 1.01.08 Backfill to pits (other than trees within hard paved areas) to be clean topsoil with tree fertiliser added, firmed in after planting. All trees to have irrigation system units fitted to fully surround the root ball. at base of pit backfill to be 30% excavated soil, 60% imported topsoil and 10% non peat compost. All trees to have root zone suitably irrigated prior to planting
 - 1.01.09 Trees, shrubs or other planting damaged by plant handling will not be accepted. This includes broken root containers at time of delivery, broken central Tree leaders, more than 10% lateral branch damage to trees/shrubs, bark removed from main stems.
 - 1.01.10 All plant material delivered to site must have a well established compact fibrous root system, be free from pest and disease/ other defects, be healthy and display good form characteristic of species, trees to have a clearly defined central leader (unless multi stemmed) and be correct match to species and quantities specified on drawing.
 - 1.01.12 All formative pruning after planting in accordance with B.S.3998:2010 "Tree work- recommendations" remove branches damaged/broken during planting, remove unwanted secondary shoots, weak forks, or crossing/rubbing branches or dead material.
 - 1.01.13 All trees, shrubs etc to be planted at depth of soil mark from nursery or soil level of container. All trees, shrubs etc to have all root coverings removed and any damaged roots removed with suitable pruning tool.
 - 1.01.14 All plant material to be Certified nursery stock, of local provenance and in accordance with B.S.3936:1992 All planting operations to be in accordance with B.S.4428:1989
 - 1.01.15 Where herbicides and other chemicals are utilised in conjunction with the following plan these are to be in strict accordance with COSH and Control of Pesticide Regulations
 - 1.01.16 Shrub planting (container grown) to be planted in a planting hole big enough to accommodate the plant without root damage, to a min of 300mm cubed. Min pot size to be 2/3 litre unless specified differently in schedule.
 - 1.01.17 All climbers noted TR require wire or trellis support All hedges are specified as double staggered rows. In shrub specification all breaks are to be strong and within the lower third (Where no breaks are identified assume min 3 breaks in lower third)
 - 1.01.18 A slow release fertiliser is to be applied immediately after planting in accordance with manufacturers instructions (NOTE: to all public/communal/shared space, plot frontages), and planting beds exposed to the public realm.
 - 1.01.19 All plants to be firmed, ameliorants added, watered in and dead or damaged branches removed after after planting. prior to sheet mulch and bark mulch being added. All planting beds should be mulched with 75mm min deep layer dark matured woodchip. All mulch to have an even particle size between 15-65mm spread taking care not to smother ground cover plants and watering all plants immediately prior to spreading mulch. (Mulch sample and source to be approved). NOTE: All trees in grassed zones to be planted centrally within a 1.0M square/round recessed planting bed grass/weed free base with 50mm depth bark mulch or to incorporate a strimmer guard. All specimen shrubs in grassed zones to be planted centrally within a 0.75M square/round recessed planting bed grass/weed free base with 50mm depth bark mulch or to incorporate a strimmer guard.
 - 1.01.20 BARE ROOT SHRUB PLANTING. All native/indigenous planting should utilise plants of local provenance All bare root plant material delivered to be lifted November - early march dependant on weather conditions. To be planted within 24 hours of site delivery. Root zone to be protected prior to planting either by heeling into ground, covered with bare earth, hessian sacking or min 300mm of straw/ adequately irrigated and kept moist to avoid roots drying).
 - 4.01.02 Native whip and shrub mix. Use 900mm tube guarding and 1.0M mulch matting, watering all plants immediately prior to laying matting. Plant between mid November and mid March, slit planted incorporating slow release fertiliser.
 - 4.01.03 Plant between mid November and end February, slit planted incorporating slow release fertiliser.
 - 4.01.04 Hedge planting (1+1 or 1+2 transplants or container grown stock) to be planted in double staggered rows 300mm apart on raised cams at 450mm intervals. Plants to be cane supported mulch matted (photodegradable or biodegradable) and rabbit/tube guarded (recycled), firmed in and watered in, with slow release fertiliser added and dead or damaged branches removed after planting. Transplants to be planted between mid november and end February. (NOTE: Refer also to shrub planting For ameliorants.)
 - 4.01.05 NOTE: All guards to be photo degradable. Do not smother plants with mulch. NB: All mulch matting must have specified and proven minimum useful life expectancy of 2No growing seasons and be covered with min 50mm dark bark chip layer
 - 5.01.01 The finished surface level of grassed areas to be set above the height of adjacent hard surfacing to a minimum 10mm compacted level or sufficient to enable effective mowing of the grass without the potential for damaging blades against kerbs. Prior to turfing/rotovate as required and remove any debris and stones above 30mm diameter and add pre turf/seeding fertiliser to manufacturers recommendations. Use cultivated, weed free amenity turf laid with broken joints well butted up Work from planks as required to avoid damage to turf and water in as necessary to avoid shrinkage.
 - 5.01.02 Seeding to be undertaken during march, april or september. Rotovate and level topsoil as required and remove any debris and stones above 20mm diameter, add pre seed fertiliser to manufacturers recommendations. Apply at 50gms per square metre lightly raking after sowing. (Contractor to supply mix details and source for approval)



MANAGEMENT OF LANDSCAPE AREAS.
(All areas to be managed as communal space.)

7.01.01 Inspection timetable for all of Management plan to run up to Practical Completion (or up to hand over for any land scheduled for control by Management Company.)

MANAGEMENT OF LANDSCAPE AREAS.

7.01.01 HARD AND SOFT MAINTENANCE OPERATIONS (Soft based on a minimum number of visits of 6No during growing season and 2No during dormant season) Hard based on 12No monthly visits during each 12 month period.

NOTE: THESE MAINTENANCE OPERATIONS ARE INCLUDED WITHIN EACH OF YEARS 1 to 6 AND ALL FURTHER YEARS BEYOND YEAR 6.

WATER ALL SOFT LANDSCAPE AREAS AS REQUIRED TO AID ESTABLISHMENT

WEED ALL PLANTING AREAS - Including spot treatment of all PEST AND DISEASE CONTROL grass and planting APPLICATION OF FERTILISER ADJUST STAKES AND TIES. REMOVAL OF TREE/SHRUB STAKES/TIES/GUARDS When plants are stable/mature enough to no longer require support.

REFIRM PLANTING: REPLACE DEAD, DYING, DEFECTIVE, DANGEROUS TREES AND DEAD, DEFECTIVE, DYING SHRUBS. REPLACE DISTRESSED/FALLING TURF. LITTER PICK, REMOVAL OF LEAF LITTER AND GENERAL TIDYING/SWEEPING OF LANDSCAPE AREAS. PRUNING SHRUBS AND TREES Hedges to site frontages to be managed at 1500-2000mm height. Hedges within visibility splays to be managed at MAX height 600mm. Hedges to internal courtyards to be managed at MIN height 1200mm. NOTE: Native hedges to have one third of each years growth cut back for years 1 - 3. NOTE: After year 3 -Native hedges to be cut in January/February on 3 year cycle. New established and existing hedges to be cut one third total each year over three year cycle. Established hedges to be cut as "X" profile with thick base unless good ground flora at base. Then standard profile maintained.

BIRD BOXES: All boxes monitored annually (February) all repairs and removal of old nesting material. INVERTIBRATE REFUGIA: All monitored every third year (October) - repairs and additions.

TOP UP BARK MULCH GRASS CUTTING: Wild flower 1-2 cuts/yr Short-medium grass 8-12 cuts/yr Short grass path min 16 cuts/yr ASSOCIATED HARD MAINTENANCE OPERATIONS: PUBLIC OPEN SPACE REPAIR OF DEFECTIVE HARD LANDSCAPE, FENCING/ENCLOSURE, GATES AND STREET FURNITURE. WEED TREATMENT/REMOVAL AND TIDYING, SWEEPING OF HARD SURFACES. INCLUDING REMOVAL OF LEAF LITTER.

YEAR 1, 2 and 3.

7.01.02 AIMS OF PLAN TO INSURE PLANTING ESTABLISHES SUCCESSFULLY AND SHRUB CANOPY CLOSES (NO GAPS OR BARE AREAS) CARRY OUT MAINTENANCE OPERATIONS (under 7.01.01) TO INSURE PLANTING AREAS REMAIN CLEAN AND TIDY AT ALL TIMES AND THAT EACH PLANT/TREE DEVELOPS TO ITS TRUE FORM AND SHAPE AND ASSOCIATES CORRECTLY WITH OTHER SPECIES WITHIN THE BED ASSESS NEED TO REMOVE STAKES, CANES AND OTHER SUPPORTS

7.01.03 YEAR 4 and 5. AIMS OF PLAN TO INSURE PLANTING ESTABLISHES SUCCESSFULLY AND SHRUB CANOPY CLOSES (NO GAPS OR BARE AREAS) CARRY OUT MAINTENANCE OPERATIONS (under 7.01.01) TO INSURE PLANTING AREAS REMAIN CLEAN AND TIDY AT ALL TIMES AND THAT EACH PLANT/TREE DEVELOPS TO ITS TRUE FORM AND SHAPE AND ASSOCIATES CORRECTLY WITH OTHER SPECIES WITHIN THE BED ASSESS NEED TO THIN OUT FASTER GROWING SPECIES OR THICKEN UP UNDERDEVELOPED AREAS OF THE SCHEME IN STRICT ACCORDANCE WITH THE APPROVED PLANTING PLAN. ASSESS NEED TO REMOVE STAKES, CANES AND OTHER SUPPORTS INSURE THAT ALL MAINTENANCE AND MAINTENANCE OPERATIONS FAVOR THE ULTIMATE PLANT SELECTIONS (INFRASTRUCTURE TREE AND SHRUB POSITIONS)

7.01.04 YEAR 6 ONWARDS AIMS OF PLAN CARRY OUT MAINTENANCE OPERATIONS (under 7.01.01) TO INSURE PLANTING AREAS REMAIN CLEAN AND TIDY AT ALL TIMES AND THAT EACH PLANT/TREE DEVELOPS TO ITS TRUE FORM AND SHAPE AND ASSOCIATES CORRECTLY WITH OTHER SPECIES WITHIN THE BED AS YEARS 1-5 BUT ALSO INCLUDING THE FOLLOWING AS SHRUB SPECIES BECOME OVERMATURE REPLACE WITH NEW SPECIMENS OR WHERE APPROPRIATE CUT BACK AND ALLOW TO REGENERATE ALL IN ACCORDANCE WITH APPROVED PLANTING PLAN.

NOTE: SURFACE LEVELS /DRAINAGE.

6.01.04 FOR DETAILS OF ALL EXISTING AND PROPOSED SURFACE LEVELS, FINISHED FLOOR LEVELS TO BUILDINGS AND TYPE AND ARRANGEMENT OF DRAINAGE/SERVICES REFER TO PROJECT ARCHITECTS AND ENGINEERS DRAWINGS.

IMPLEMENTATION TIMETABLE.

8.01.01 Implementation of hard landscape works will be completed as on completion of or during the building works. Implementation of any communal planting or native tree/shrub areas during next available planting season following completion of hard construction. (End Nov-Mid March) Implementation of all on curtilage planting following sale of individual plots or during next available planting season whichever is appropriate.

Proposals prepared by
Andrew Hastings
Tel: 07887 871150

Landscape Planning
LIMITED

DRAWING STATUS

FOR APPROVAL

CLIENT

MANHURLEY LTD

PROJECT

77-83 BELL STREET, REIGATE, RH2 7AN

DRAWING TITLE

DETAIL SOFT LANDSCAPE PROPOSALS.

SCALE	DATE	DRAWN	CHECKED	DRAWING NUMBER
1:100@A2.	NOV 17	OB	AH	17.3040.01
No dimensions are to be scaled from this drawing. All written dimensions to be checked by the contractor. Discrepancies notified immediately to this consultant.				

- EXISTING TREES/VEGETATION.**
- 6.01.01 FOR LOCATION AND CONSTRUCTION DETAILS OF ALL PROTECTIVE FENCING TO EXISTING TREES, TREE NUMBERS AND SPECIALIST CONSTRUCTION AREAS ALSO DETAILS OF EXISTING TREES (SIZE, VIGOUR, SPECIES ETC) REFER TO ARBORICULTURAL CONSULTANTS REPORTS AND DRAWINGS.
- DRAWING REFERENCE.**
- 6.01.02 This drawing to be read in conjunction with the following.
Architectural details and Site Layout (RnH Architects series)
Tree Survey, Assessment and Method Statement. (Landscape Planning)
Engineering details ()
Ecological report and details. ()
- 6.01.03 This drawing to be read in conjunction with drainage and service information. minor adjustment to be undertaken on site. Significant changes to be agreed with Landscape Architect. (Trees not to be moved closer to buildings than shown on drawings.)

Specimen Shrubs

Species	Abb.	Number	Girth	Specification
Ligustrum japonicum	SS1.	4	20-25cm	180L: Full Standard: C
Ligustrum japonicum "Excelsum"	SS2.	4	20-25cm	200L: Full Standard: C

Shrubs

Number	Species	Abb.	Height	Pot Size	Specification	Density
4	Berberis darwinii	Ber dar	30-40cm	3L	Bushy: 3 brks: C	2/m ²
5	Choisya ternata "Sundance"	Choi Sun.	25-30cm	2L	Bushy: 3 brks: C	4/m ²
2	Cornus "Sibirica Variegata"	Cor Var	30-40cm	2L	Bushy: C	2/m ²
3	Cytisus "Ailgold"	Cyt All	30-40cm	3L	Bushy: 5 brks: C	3/m ²
4	Hebe x franciscana "Variegata"	Heb Var.	30-40cm	2L	Bushy: 3 brks: C	4/m ²
5	Hebe "Mrs Winder"	Heb MW.	30-40cm	2L	Bushy: 3 brks: C	4/m ²
5	Hypericum hidcote	Hyp hid	30-40cm	2L	Bushy: 3 brks: C	3/m ²
4	Lavandula angustifolia "Vera"	Lav Ver.	25-30cm	2L	Bushy: 5 brks: C	4/m ²
2	Photinia "Red Robin"	Pho RR	40-60cm	3L	Bushy: C	2/m ²
4	Pyracantha "Orange Chamer"	Pyr OG	40-60cm	2L	Bushy: C	2/m ²
4	Salvia officinalis "Purpurea"	Salv Pur	25-30cm	2L	Bushy: C	4/m ²
4	Spiraea "Firelight"	Spir Fir	25-30cm	2L	Bushy: 5 brks: C	4/m ²
3	Viburnum davidii	Vib dav.	25-30cm	2L	3 brks: C	3/m ²

Herbaceous

Number	Species	Abb.	Pot Size	Specification	Density
5	Bergenia cordifolia "Purpurea"	Ber cor.	2L	C	6/m ²

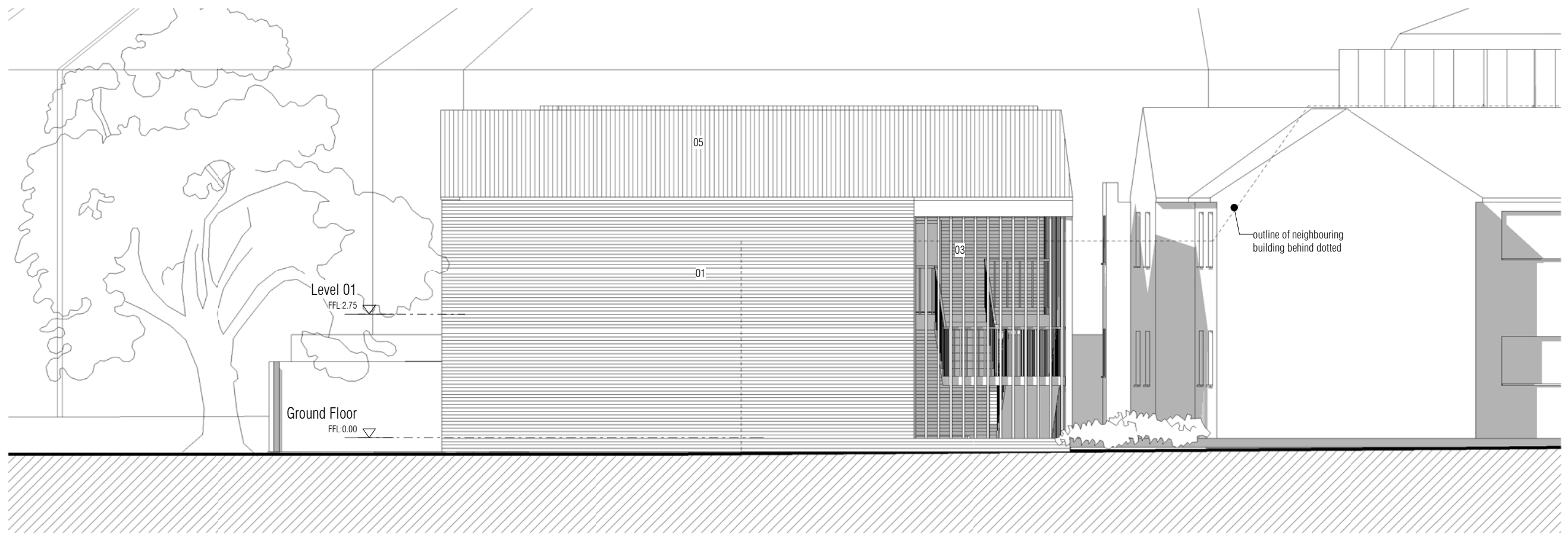
LEGEND:

- HARD SURFACES, GATES AND ENCLOSURE REFER TO HARD LANDSCAPE DRAWINGS FOR DETAILS. (RnH ARCHITECTS)
- PROPOSED SPECIMEN SHRUB POSITION
- PROPOSED SHRUB PLANTING
- PROPOSED GRASS AREA GENERAL AMENITY TURF FULLY TREATED AND CULTIVATED
- ENCLOSED PRIVATE AMENITY SPACE- FINISHED TO CLIENT PREFERENCE.
- EXISTING TREES (RETAINED) To be retained in accordance with Arboricultural Consultants Tree Survey and Assessment. NOTE: ALL PROTECTIVE FENCING TO BE IN ACCORDANCE WITH ARBORICULTURAL REPORT AND DRAWING
- RESIDENTIAL SITE BOUNDARY

9.01.01 NOTE: ALL HARD AND SOFT LANDSCAPE WORKS WILL BE CARRIED OUT BROADLY IN ACCORDANCE WITH THE RELEVANT CURRENT BRITISH STANDARDS.

9.01.02 SUBSTITUTION TO SUBMITTED DETAILS. ANY SUBSTITUTION TO THE LANDSCAPE DEPOSIT, ONCE FORMALLY AGREED WILL ONLY BE MADE FOLLOWING REVISION TO THE DEPOSIT AND SUBSEQUENT FORMAL AGREEMENT BY THE LOCAL PLANNING AUTHORITY.





01 North Elevation
1:100

Material Key:

- 01 - Facing, handmade brick cladding - english bond, colour to match historic brickwork in neighbourhood
- 02 - Side hung, timber window with double glazing
- 03 - Vertical timber screen fins
- 04 - Privacy panel - Horizontal terracotta or brick baguettes, colour to match adjoining brickwork
- 05 - Slate roof tile finish
- 06 - Solid wood external entrance door
- 07 - Timber louvered double door to bin store
- 08 - Timber structure canopy with slate tiling
- 09 - Hidden rainwater gutter



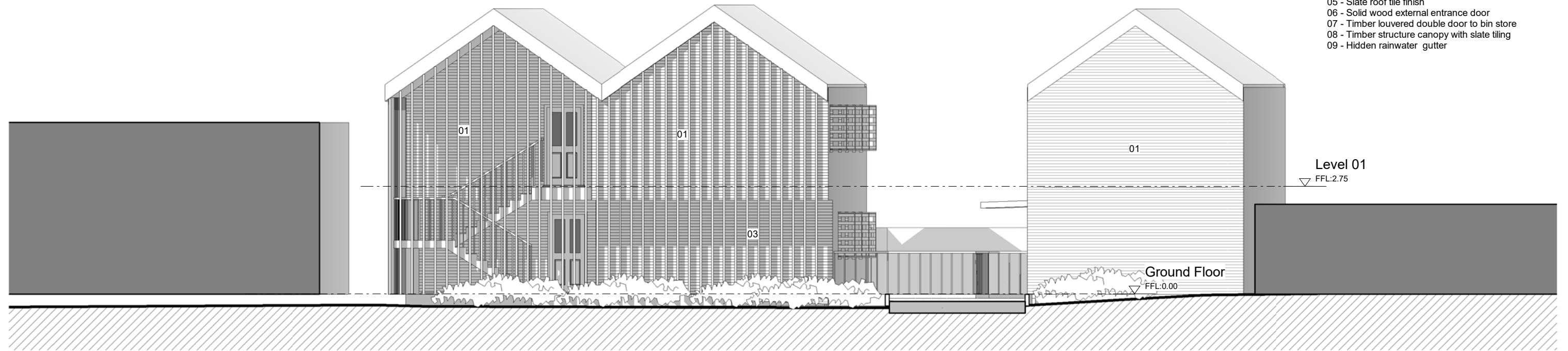
02 South Elevation
1:100



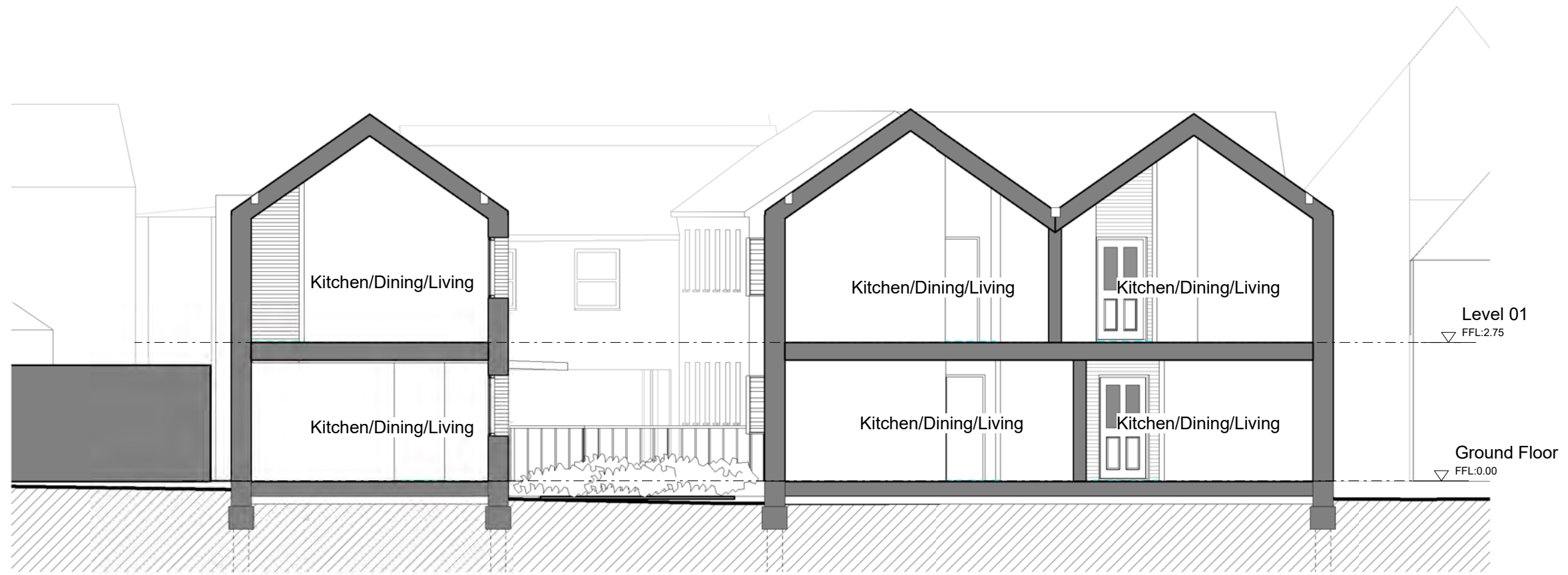
01 East Elevation
1 : 100

Material Key:

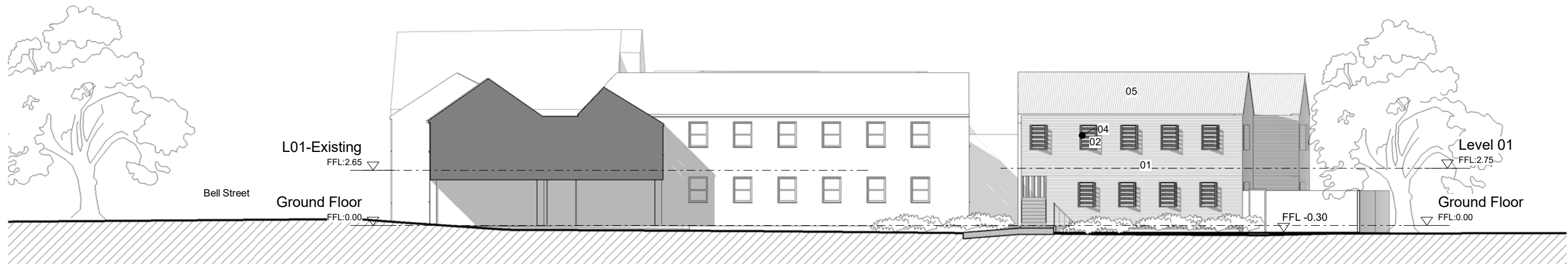
- 01 - Facing, handmade brick cladding - english bond, colour to match historic brickwork in neighbourhood
- 02 - Side hung, timber window with double glazing
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- 05 - Slate roof tile finish
- 06 - Solid wood external entrance door
- 07 - Timber louvered double door to bin store
- 08 - Timber structure canopy with slate tiling
- 09 - Hidden rainwater gutter



02 West Elevation
1 : 100



01 Section C
1 : 100



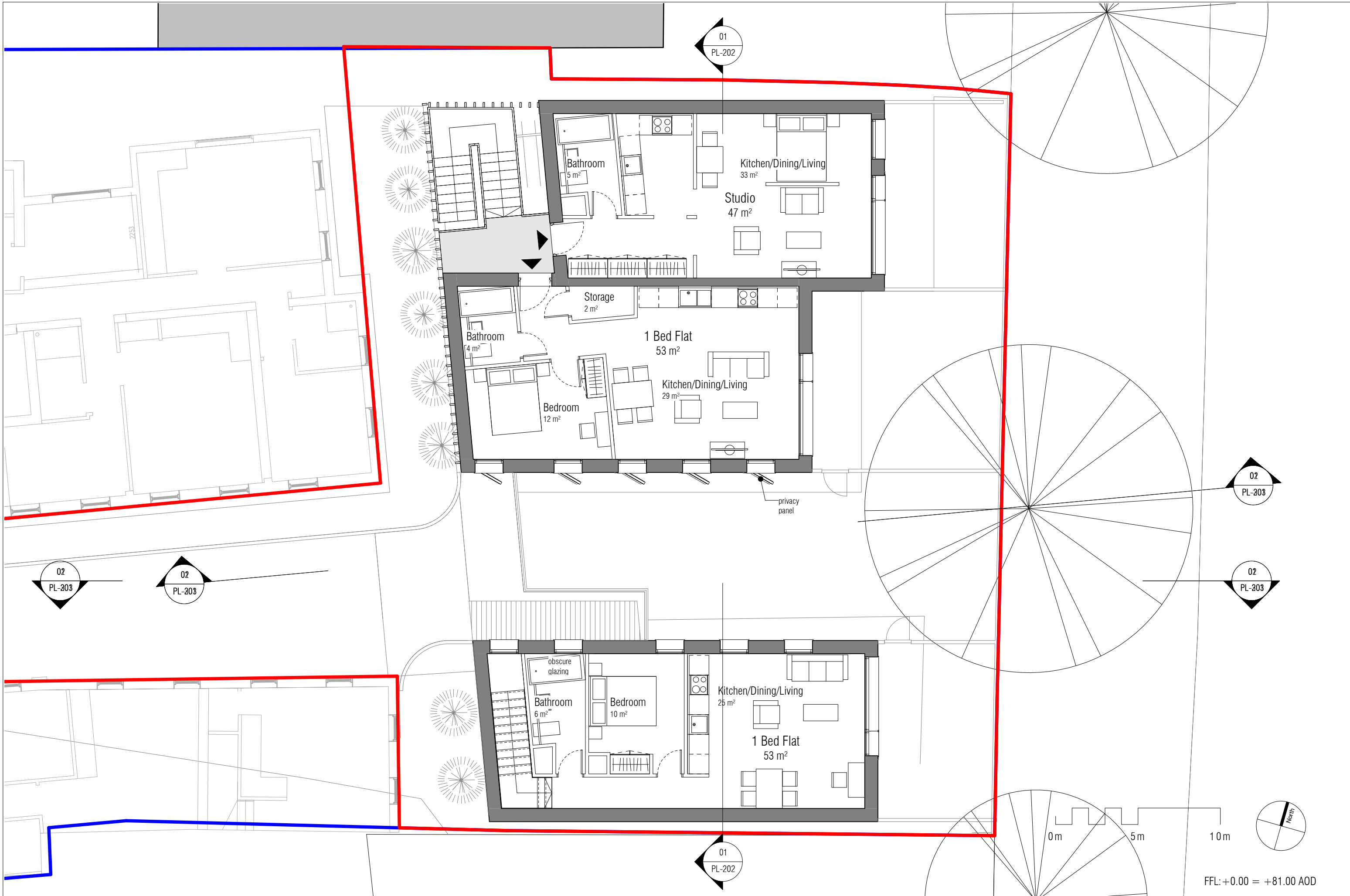
01 Section A
1 : 200



02 Section B
1 : 200

Material Key:

- 01 - Facing, handmade brick cladding - english bond, colour to match historic brickwork in neighbourhood
- 02 - Side hung, timber window with double glazing
- 03 - Vertical timber screen fins
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- 07 - Timber louvered double door to bin store
- 08 - Timber structure canopy with slate tiling
- 09 - Hidden rainwater gutter



FFL: +0.00 = +81.00 AOD

